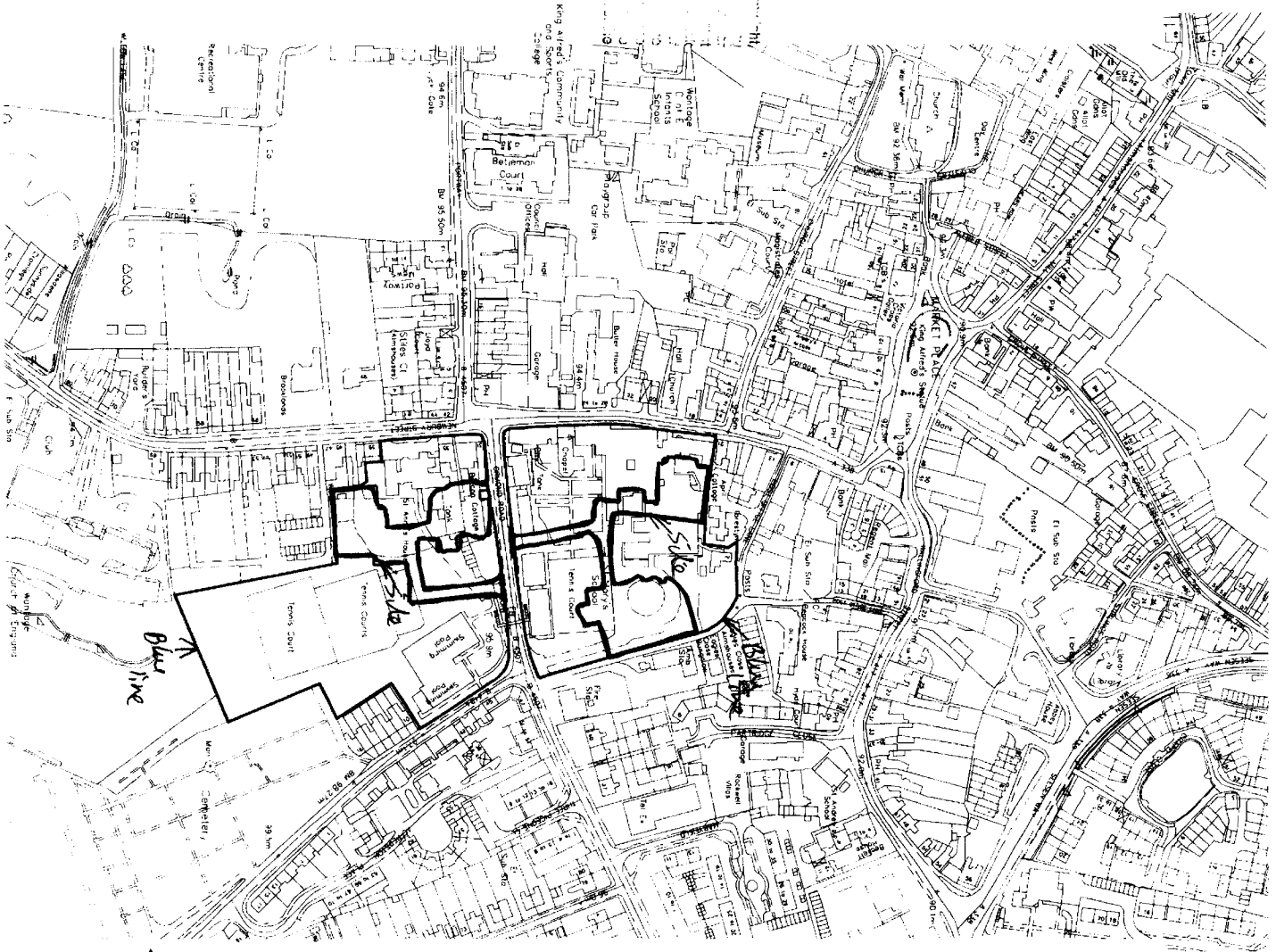


APPENDIX 1

**VALE OF WHITE HORSE
DISTRICT COUNCIL
RECCD 01 MAR 2008
CORPORATE POSTAL
SERVICES - 2**

protected under the Freedom of Information Act 1998. If you are unable to obtain the price of the information, please contact the Information Commissioner at 01256 473600.



SITE LOCATION PLAN



NOTES:
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| Rev. No. | Date | Rev's OF: |
|----------|-------------|-------------------------------|
| B | 04 April 08 | Prepared for New Application. |

Client:
Berkeley Homes
Oxford and Chiltern Ltd

Use:
St Mary's School
Wantage

Drawing Title:
Location Plan

- 1:20 = 1.2m
- 1:50 = 3m
- 1:100 = 6m
- 1:200 = 12m
- 1:500 = 30m
- 1:1250 = 75m
- 1:2500 = 150m

Scale:
1:2500@A3

Date:
Aug. 2007

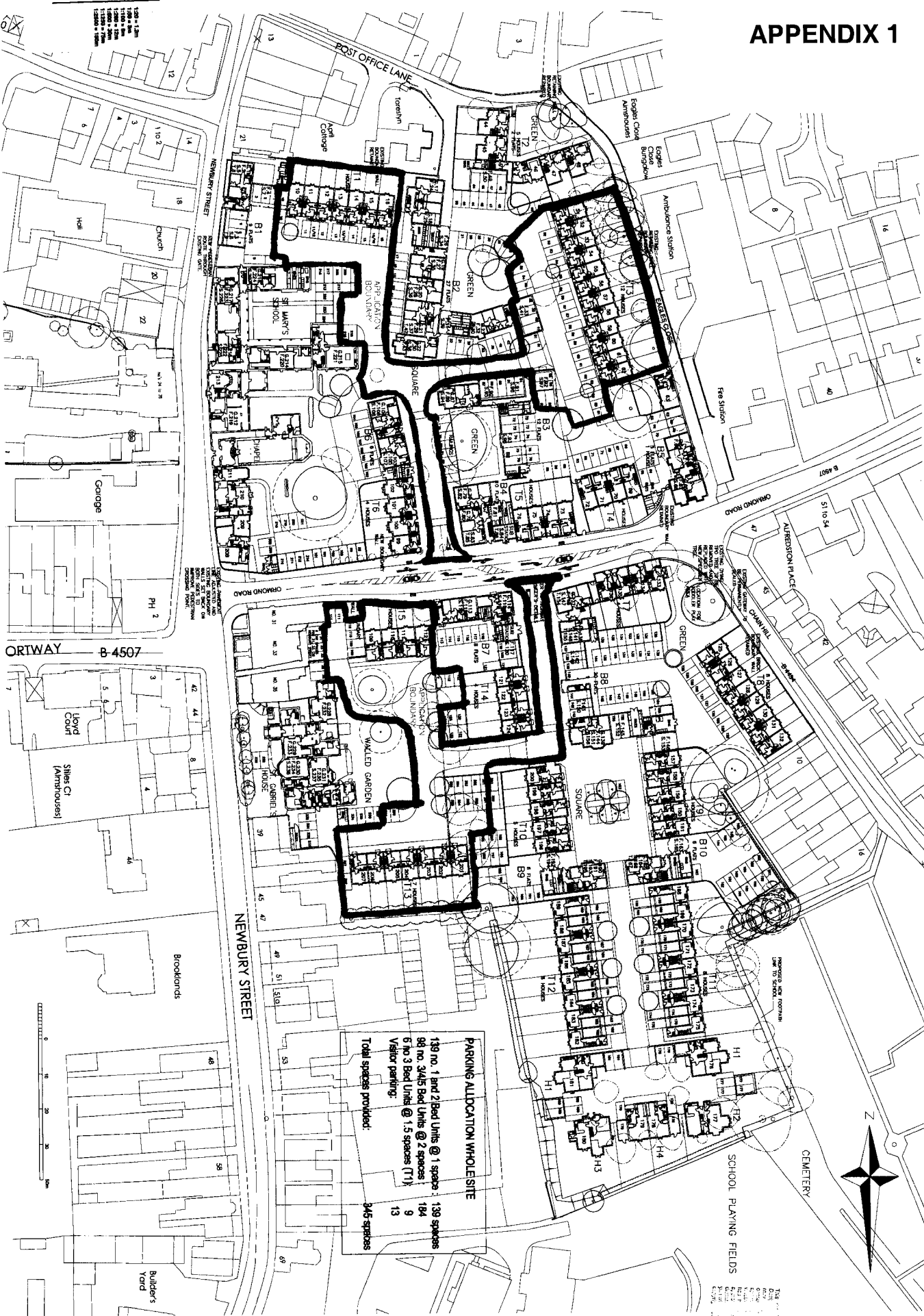
Drawing No.:
2060.100

WAN/2186/17

08/00694/FUL

Colchester 01774 818
Tel: 01235 765522 Fax: 01235 765573
The Mardon House, Mardon Park, Colchester
Suffolk, CO1 2JF
Tel: 01246 700407 Fax: 01246 40077
www.berkeleyhomes.co.uk

SITE PLAN - PROPOSED



PARKING ALLOCATION WHOLESITE
 139 no. 1 and 2 Bed Units @ 1 space = 139 spaces
 98 no. 3, 4 & 5 Bed Units @ 2 spaces = 194 spaces
 6 no. 3 Bed Units @ 1.5 spaces (T1) = 9 spaces
 Visitor parking: 13 spaces
 Total spaces provided: 345 spaces



REVISIONS

| Rev. No. | Date: | Author: | Revision: |
|----------|-------------|---------|---------------------|
| A | March 08 | SJC | Revised Site Layout |
| B | 2nd July 08 | SJC | Revised Site Layout |
| C | 8th July 08 | SJC | Final Allocation |

KEY

- DISTING. UNITS TO BE RETAINED
- EXISTING TREE TO BE RETAINED
- PROPOSED NEW TREE PLANTING
- PLANTING AREAS TO BE RETAINED

CLIENT: Berkeley Homes Oxford and Chiltern Ltd

DATE: 13/03/08

SCALE: 1:300 @ A1

DATE: MARCH 08

DATE: 2008.161

DATE: 2008.161

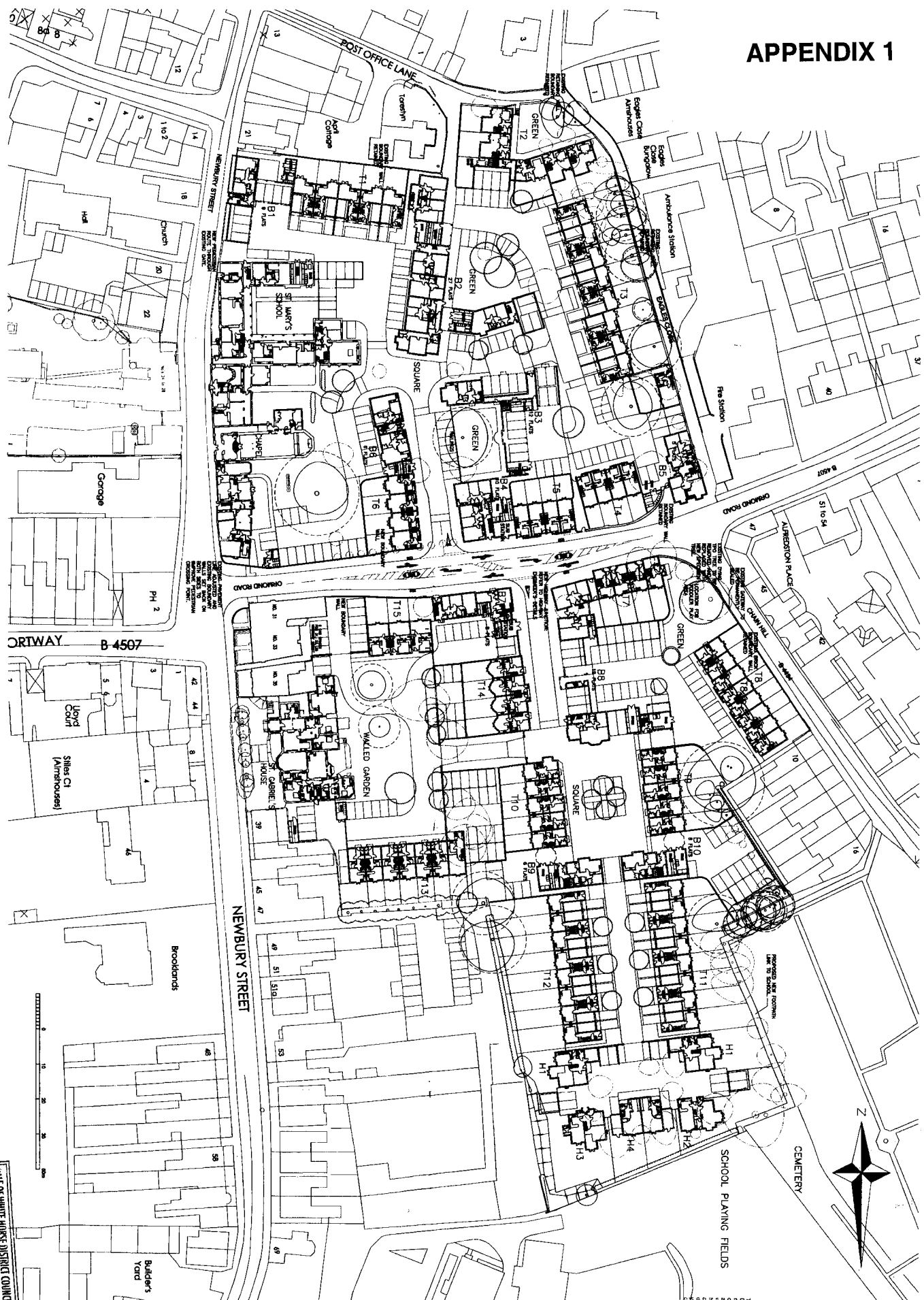
ST MARY'S SCHOOL
 WONTAGE
 DRAWING DATE: 2008.161
 DRAWING NO: 2008.161
 DRAWING TITLE: Revised Site Layout Plot and parking Allocation

WAN/2186/17
 08/0064/FULL

1:250 = 1.25m
 1:500 = 500mm
 1:1000 = 1000mm
 1:1500 = 1500mm
 1:2000 = 2000mm

APPENDIX 1

SITE PLAN - PERMITTED



DATE OF DECISION 03/03/08
APPROVAL
 PLANNING SERVICES DIRECTORATE
 VALLE OF WHITE HORSE DISTRICT COUNCIL

The Borough of Cherwell, North Oxonshire
 Planning Services Directorate
 The Borough House, Watlington Way, Oxonshire
 OX12 0JG
 Tel: 01235 432222
 Fax: 01235 432273
 Email: planning@cherwell.gov.uk
 Website: www.cherwell.gov.uk

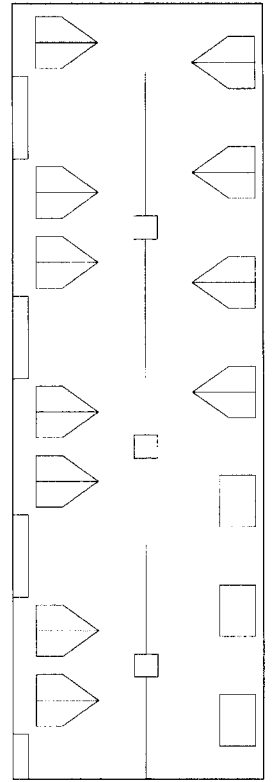
Scale: 1:500 @ A1
 Date: August 07
 Drawing No: 2006.101
 Builder's Yard
 Drawn By: SJC
 Revision: D

Client: Berkeley Homes Oxford and Chiltern Ltd
 Job: St Mary's School
 Drawing Title: Site Layout
 Drawing No: 2006.101
 Date: 07/08/07
 Drawn By: SJC
 Revision: D

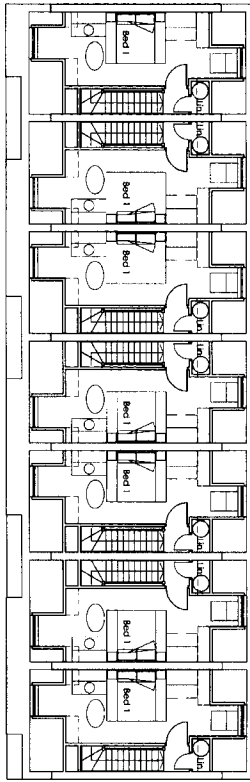
KEY
 TO BE RETAINED
 TO BE DEMOLISHED
 PROPOSED NEW BUILDING
 PROPOSED NEW GREEN SPACE
 PROPOSED NEW DRIVEWAY
 PROPOSED NEW FENCING
 PROPOSED NEW WALLS
 TO BE DEMOLISHED
 TO BE RETAINED

REVISIONS
 Rev. No. Date: Revision:
 A 07/08/07 Issued for pre-approval
 B 07/08/07 Issued for pre-approval
 C 07/08/07 Issued for pre-approval
 D 07/08/07 Issued for pre-approval

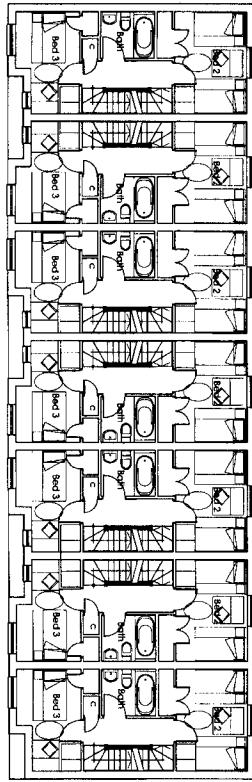
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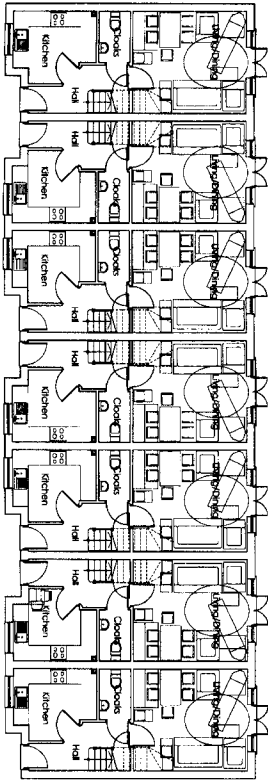
ROOF PLAN



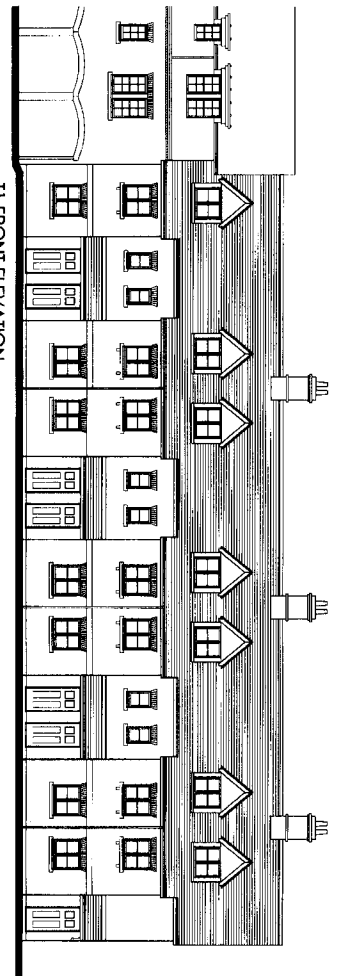
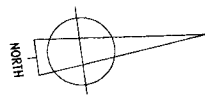
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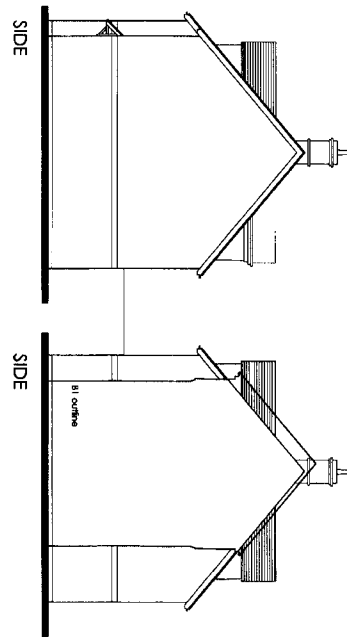
FIRST



GROUND

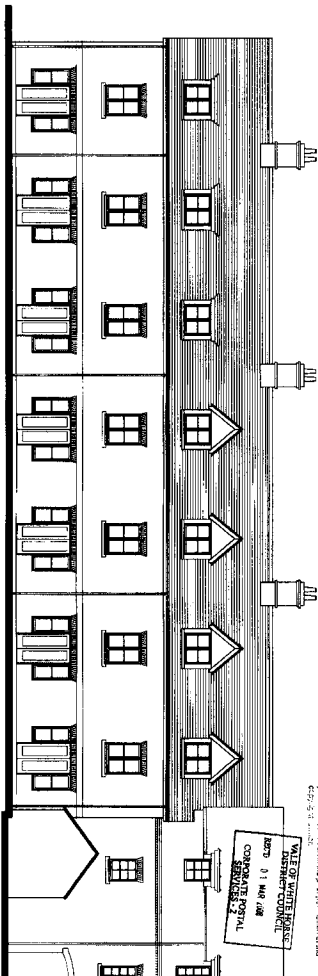


T1 FRONT ELEVATION



SIDE

SIDE



T1 REAR ELEVATION



KEY PLAN

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VALE OF WHITE HORSES
 2007 01148 (M)
 CORPORATE HOSPITAL
 SERVICES 2

Client: Berkeley Homes Oxford and Chiltern Ltd
 Job: St Mary's School Wortle
 Drawing Title: Terrace T1 (B2) Plans and Elevations
 Scale: 1:100 @ A1
 Date: August 2007
 Drawing No: 2060.126
 Down By: SC/MF
 Revision: B

NOTES

CONTRACTOR TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE.

REVISIONS

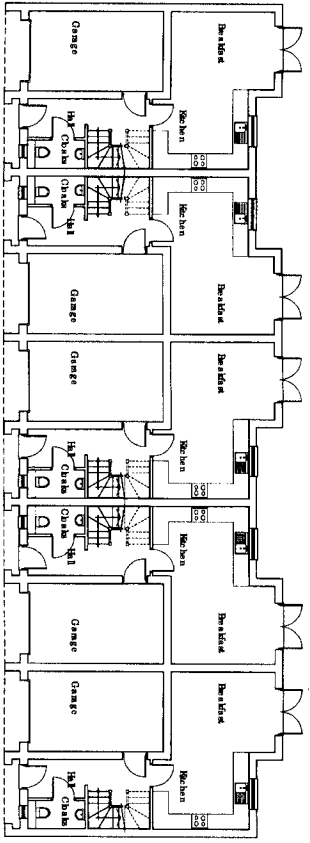
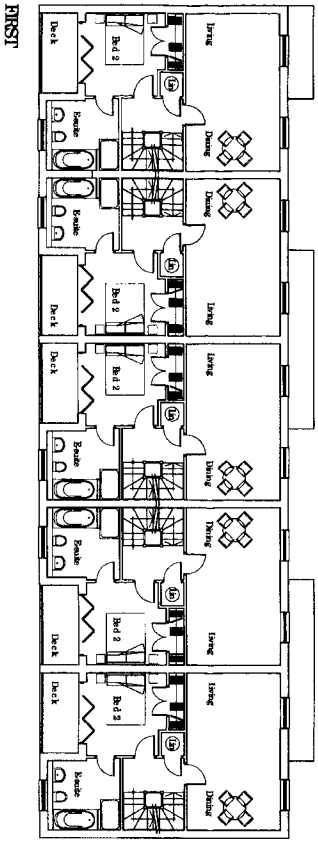
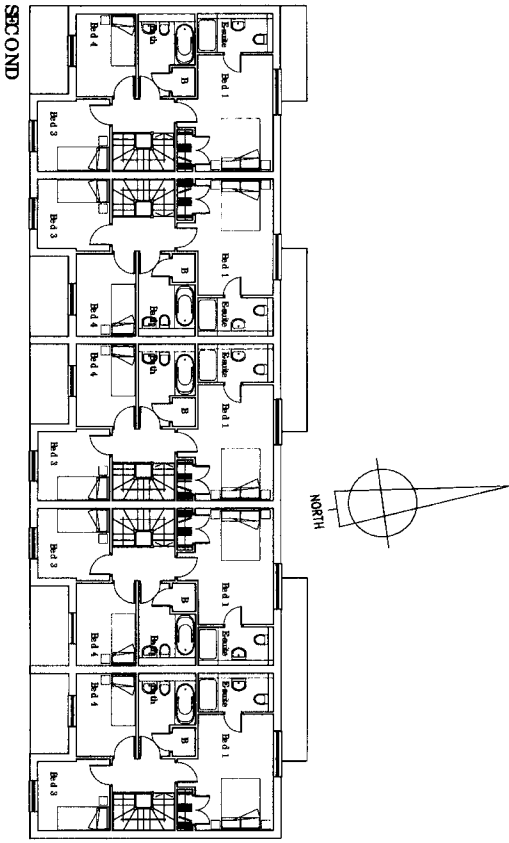
| Rev. No. | Date: | Revised/By: |
|----------|-------|--|
| A | | Revised & updated by SC/MF |
| B | | Minor amendments following Planning Committee. |

TERRACE T1 - PROPOSED

WAN/2186/17
 08100694/FUL

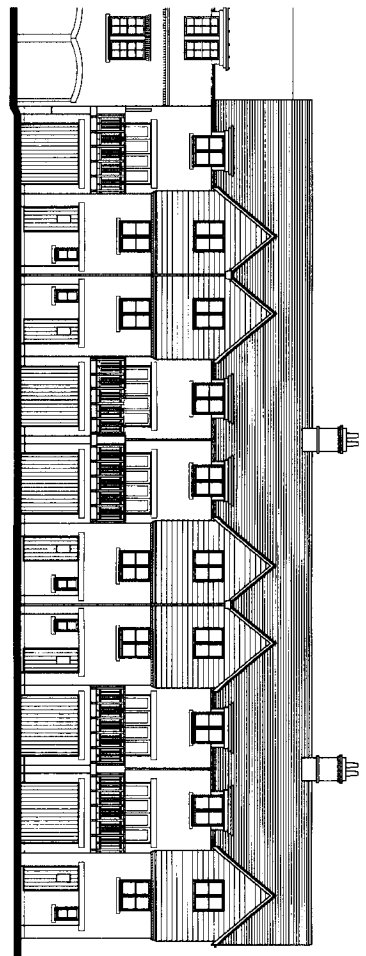
B1

SC/M/F ARCHITECTS
 1, 01262 563522
 1, 01262 563523
 1, 01262 563524
 1, 01262 563525
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 1, 01262 563527
 1, 01262 563528
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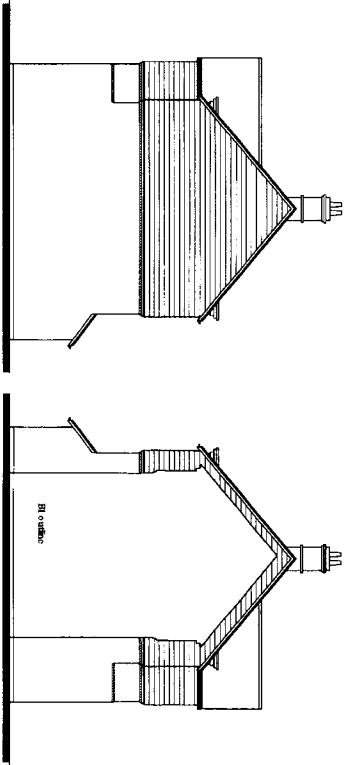


GROUND TERRACES T1

TERRACE T1

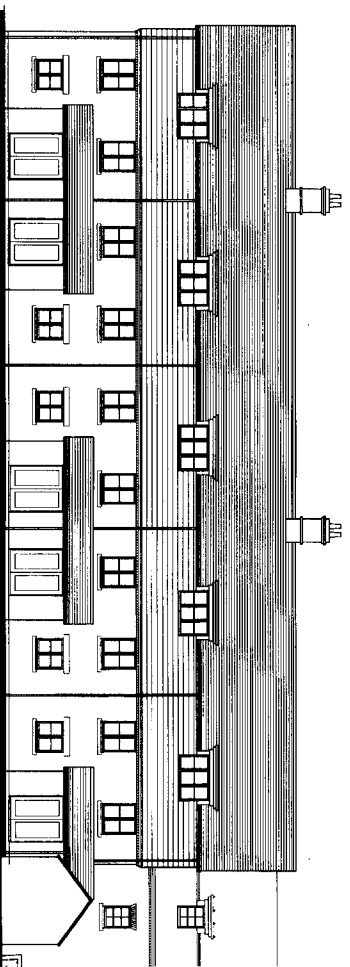


T1 FRONT



SIDE

SIDE



REAR

PERMITTED

1:500 - 1:100
1:1000 - 1:500
1:2000 - 1:5000
1:5000 - 1:10000
1:10000 - 1:50000



KEY PLAN

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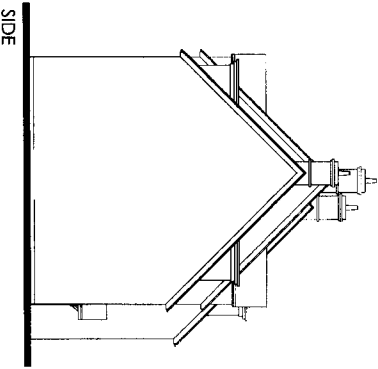
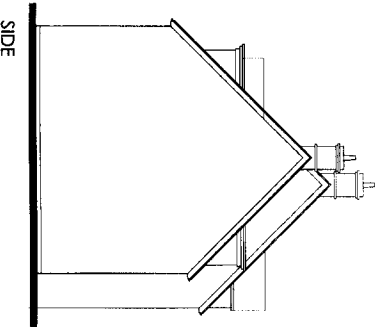
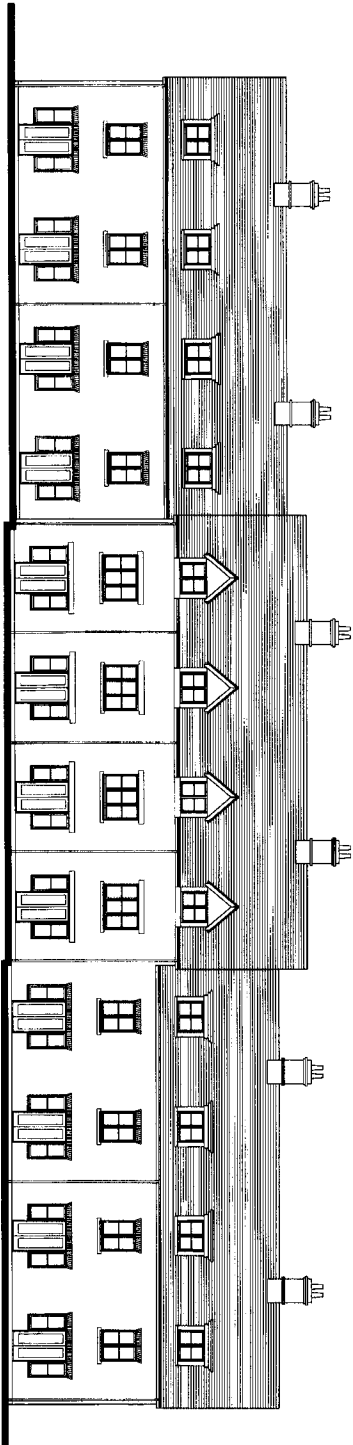
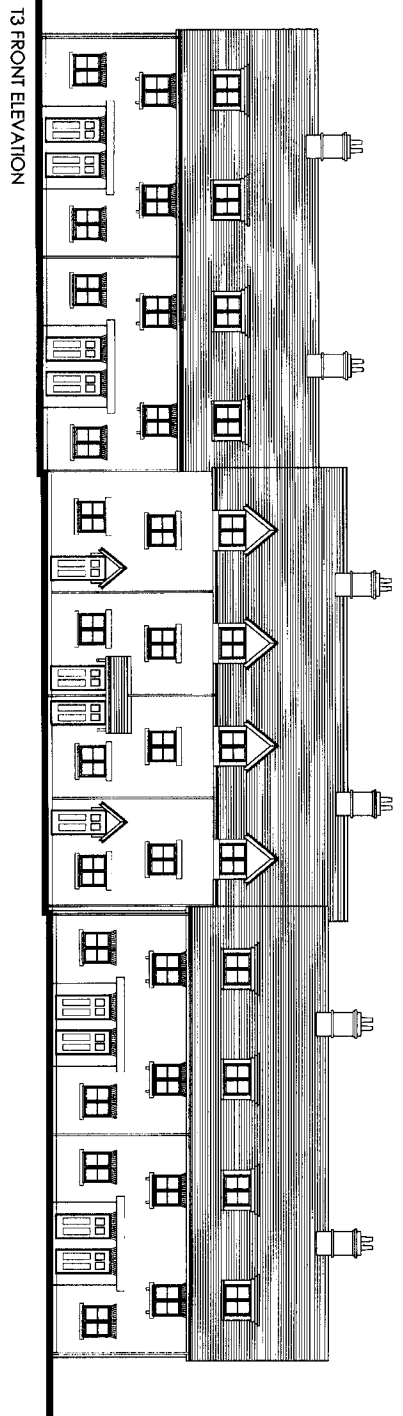
Scale: 1:100 @ A1
 Date: August 2007
 Drawing No: 2060.126

Drawn By: SC/MP
 Checked By: [Signature]
 Approved By: [Signature]

White Horse District Council
 Planning Services Directorate
 APPROVAL
 DATE: 03/03/08

WANC2108/14
 07/01/530/FUL

APPENDIX 1



TERRACE T3 - PROPOSED

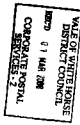


KEY PLAN

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| Rev. No. | Date: | Revised: |
|----------|----------|----------------|
| A | 11/07/07 | Initial design |
| B | 11/08/07 | Revised design |
| C | 11/09/07 | Final design |
| D | 2/10/08 | Final design |

Drawn by: **JK**
 Checked by: **JK**
 Date: **11/07/07**
 Scale: **1:100**
 Drawing No: **2060.130**

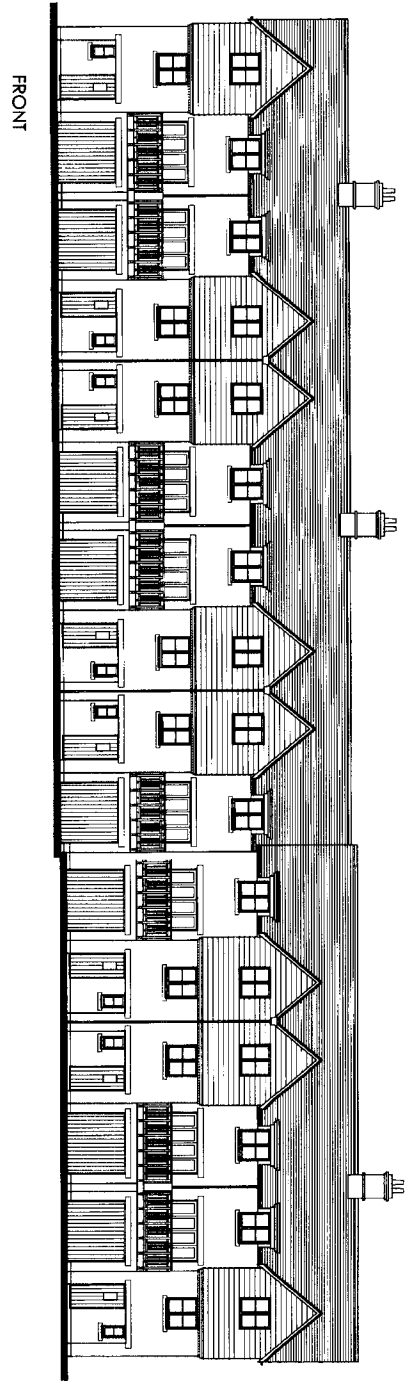


Client: **Berkeley Homes Oxford and Chiltern Ltd**
 Job: **St Mary's School Wantage**
 Drawing Title: **Terrace T3 (85) Elevations**
 Scale: **1:100 @ A1**
 Date: **August 2007**
 Drawn by: **BK/MF**
 Drawing No: **2060.130**
 Revison: **D**

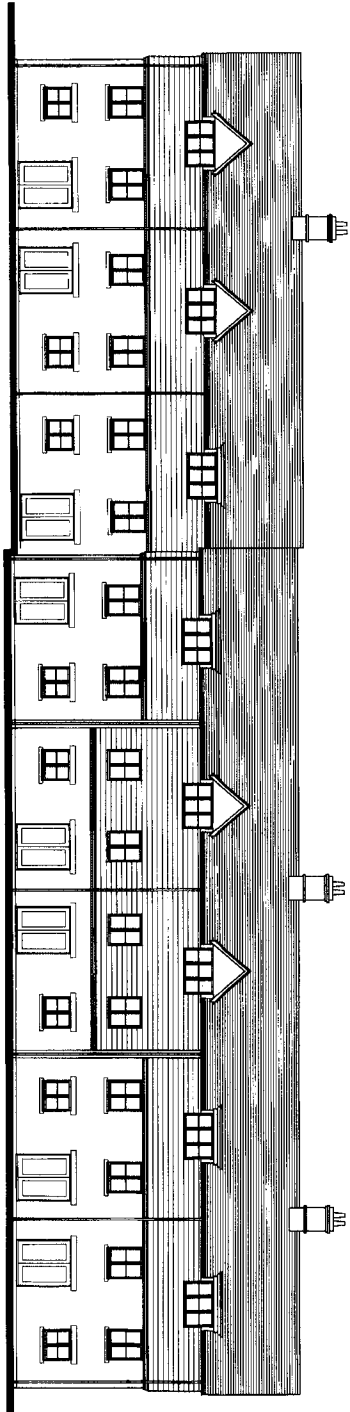
WAN/2188/17
 08/00684/FUL



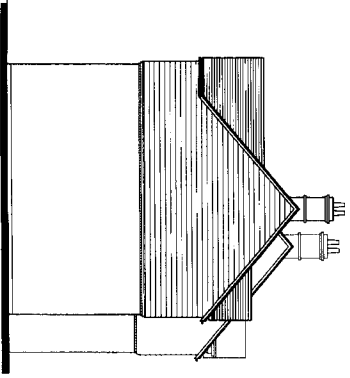
APPENDIX 1



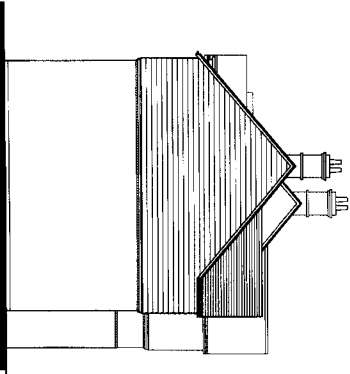
FRONT



REAR

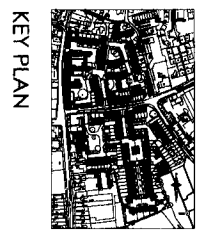


SIDE



SIDE

TERRACE T3
- PERMITTED

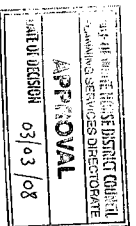


KEY PLAN

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 4. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO ANY OTHER MATTER.
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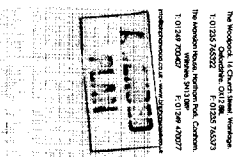
1:100
 1:100
 1:100
 1:100
 1:100

07/01/2007/AVL

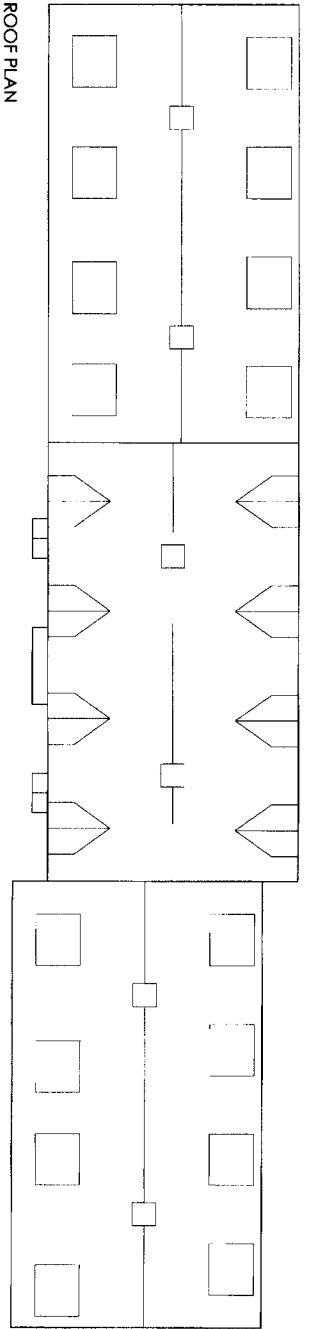


07/01/2007/AVL

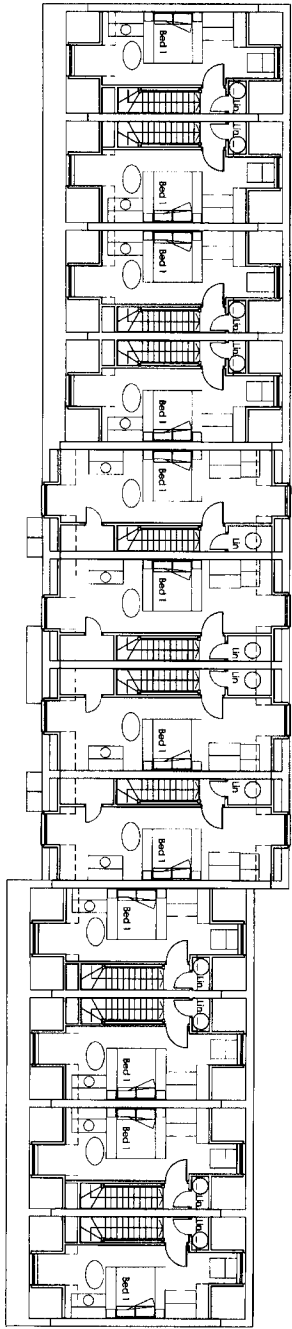
Client:
 Berkeley Homes
 Oxford and Chiltern
 Ltd
 Job:
 St Mary's School
 Wantage
 Drawing Title:
 Terrace T3
 Elevation T3
 Scale:
 1:100
 @ A1
 Date:
 August 2007
 Drawn By:
 BK/MF
 Drawing No:
 2060.130
 Revision:
 A



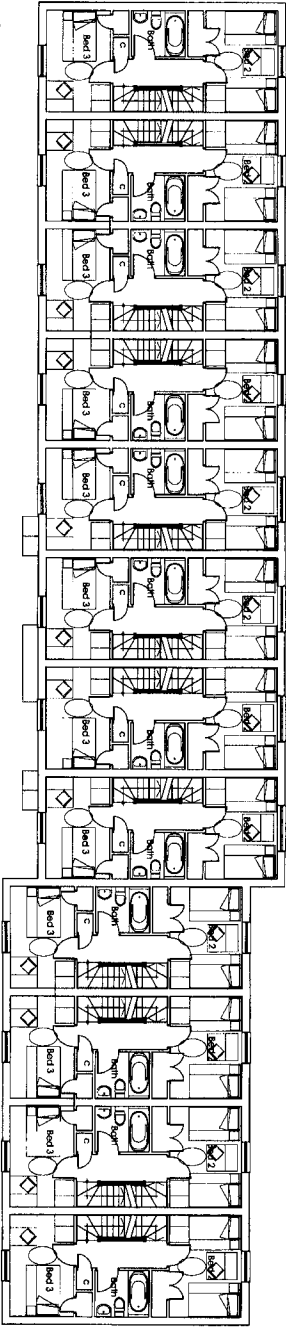
APPENDIX 1



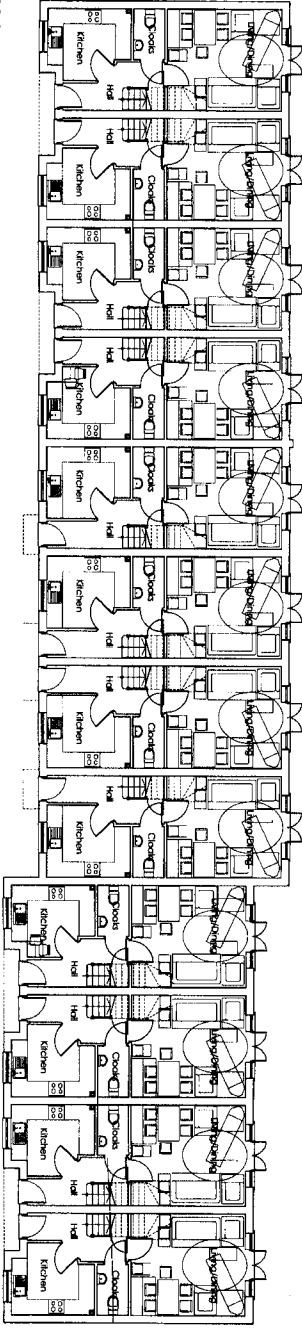
ROOF PLAN



SECOND



FIRST



GROUND

TERRACE T3 FLOOR PLANS - PROPOSED



KEY PLAN

NOTES

1. CONSULT WITH THE LOCAL AUTHORITY FOR THE CURRENT BUILDING REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS FOR THE PROPOSED DEVELOPMENT.

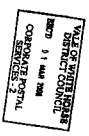
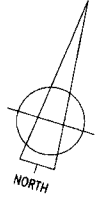
2. CONSULT WITH THE LOCAL AUTHORITY FOR THE CURRENT BUILDING REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS FOR THE PROPOSED DEVELOPMENT.

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| Rev. No | Date | Description |
|---------|----------|----------------|
| A | 11/01/07 | Initial Design |
| B | 11/01/07 | Final Design |
| C | 21/01/08 | Final Design |

1:50 = 1.2m
 1:100 = 2.4m
 1:200 = 4.8m
 1:500 = 12.0m
 1:1000 = 24.0m
 1:2000 = 48.0m



WAZ186/17
 08/00694/FUL

CARIT:
 Berkeley Homes
 Oxford and Chiltern
 Ltd

Job:
 St Mary's School
 Wanlode

Drawing Title:
 Terrace T3 (B5)
 Plans

Scale:
 1:100 @ A1

Date:
 August 2007

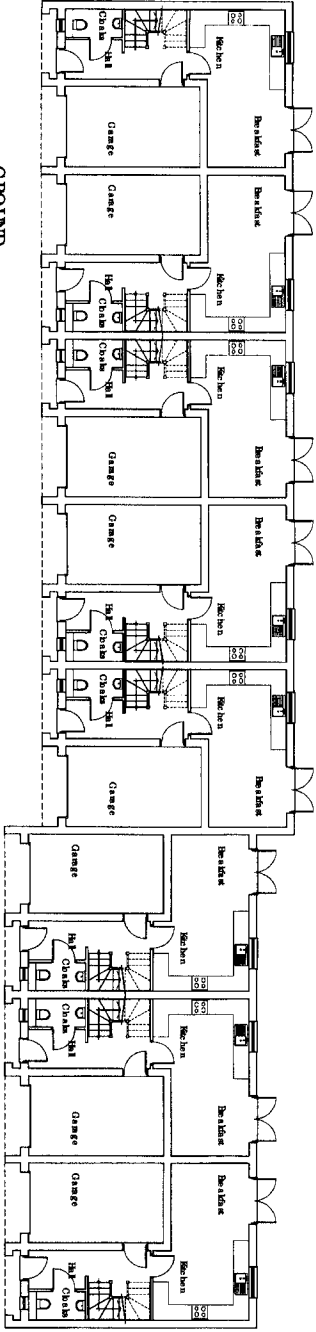
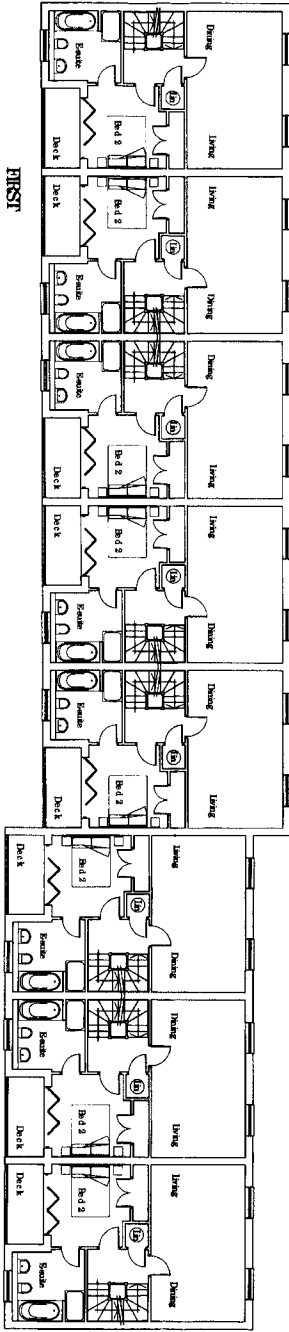
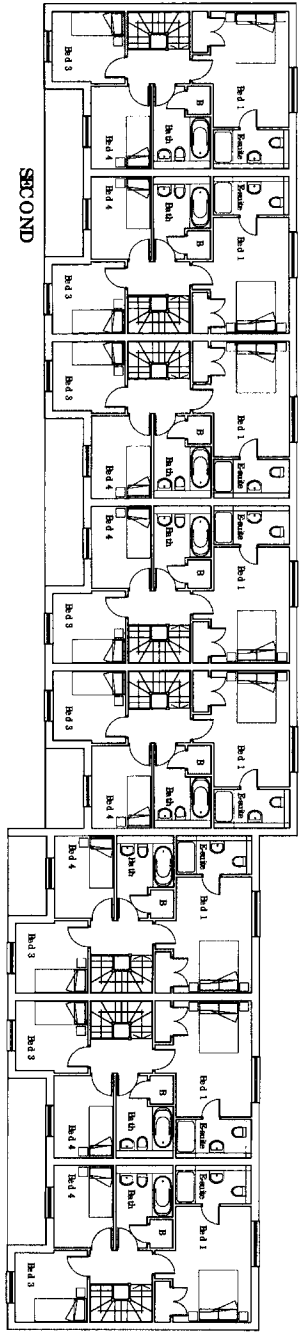
Drawn By:
 BK/MF

Drawing No:
 2060.129

Revision:
 C

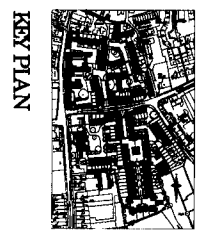
The Vale of White Horse District Council
 Planning Committee
 11/07/07
 Planning Committee
 11/07/07
 Planning Committee
 11/07/07

APPENDIX 1

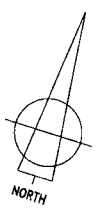


TERRACE 73 FLOORPLANS - PERMITTED

GROUND
TERRACES 73



KEY PLAN



1:200 = 1:200
1:500 = 1:500
1:1000 = 1:1000
1:1500 = 1:1500
1:2000 = 1:2000

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APPROVAL
07/03/08

REVISIONS
Revised By: []
Date: []
Revised By: []
Date: []

Scale: 1:100 @ A1
Date: August 2007
Drawing No: 2060.129
Revised By: []
Date: []

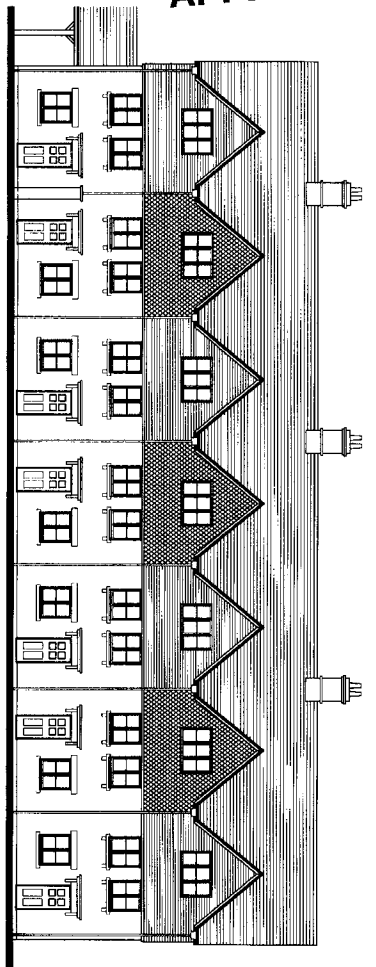
Client: St Mary's School
Wairangi

Design: Bealey Homes
Oxford and Chelmsford Ltd

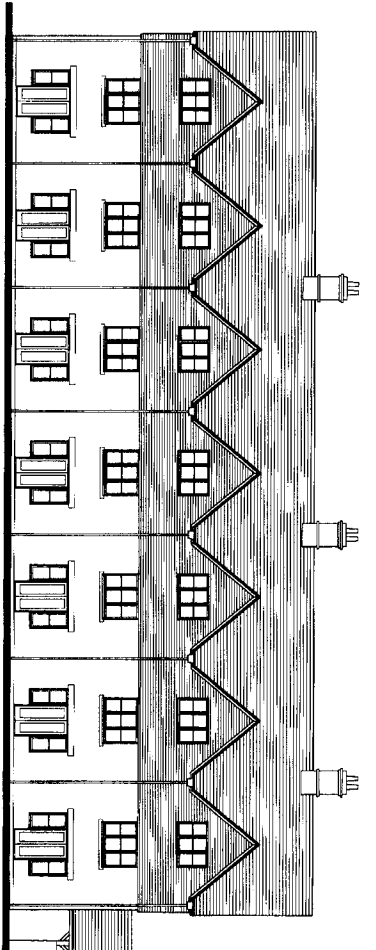
Drawn by: []
Checked by: []
Date: []

WELLINGTON CITY COUNCIL
CORPORATE ENGINEERING
150000 Wellington

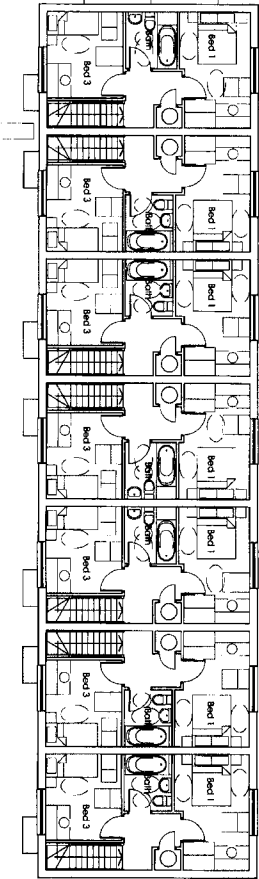
WAZ/18/14
07/01/08/PUL



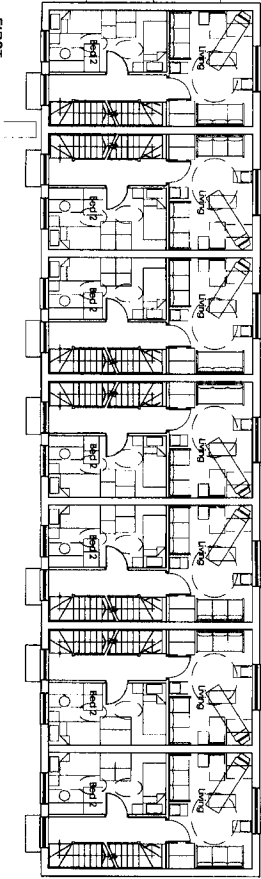
FRONT ELEVATION



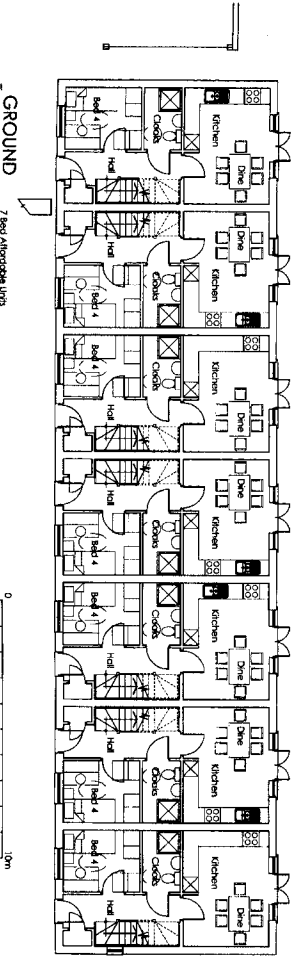
REAR ELEVATION



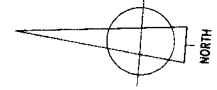
SECOND



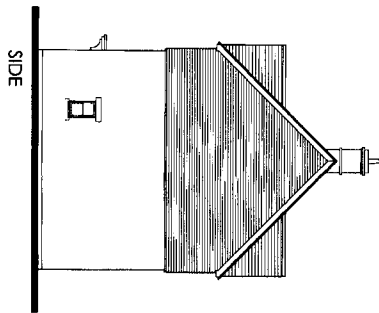
FIRST



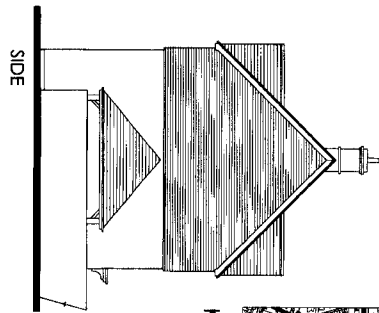
GROUND



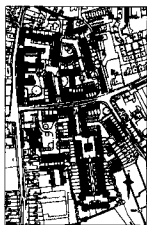
NORTH



SIDE



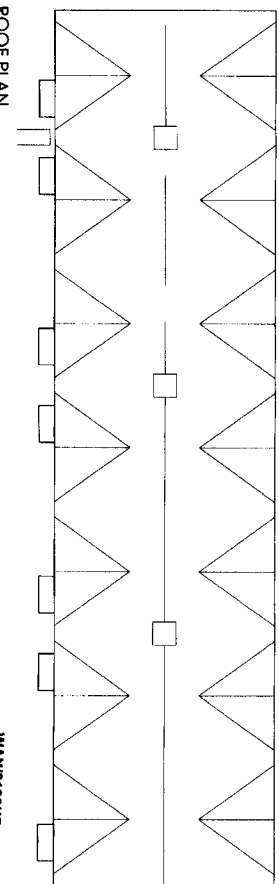
SIDE



KEY PLAN



TERRACE T13 - PROPOSED



ROOF PLAN



WAN2188/17 08/00694/FUL

NOTES:

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE BUILDING REGULATIONS AND THE LOCAL AUTHORITY REQUIREMENTS.

2. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL AUTHORITY REQUIREMENTS.

3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL AUTHORITY REQUIREMENTS.

4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL AUTHORITY REQUIREMENTS.

5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL AUTHORITY REQUIREMENTS.

6. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL AUTHORITY REQUIREMENTS.

7. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL AUTHORITY REQUIREMENTS.

8. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL AUTHORITY REQUIREMENTS.

9. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL AUTHORITY REQUIREMENTS.

10. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL AUTHORITY REQUIREMENTS.

Client: Berkeley Homes Oxford and Chiltern Ltd

Job: St Mary's School Wantage

Drawing Title: Terrace T13 (R33) Plans and Elevations

Scale: 1:100 @ A1

Date: Mar 2008

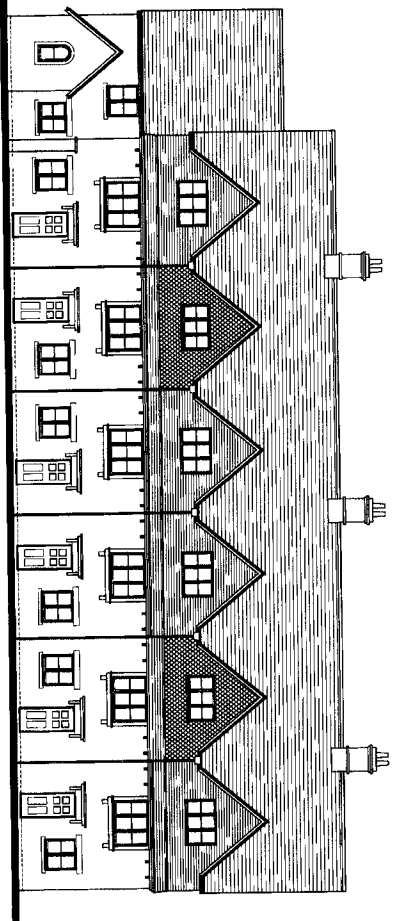
Drawn By: BK/SC

Drawing No: 2060.136

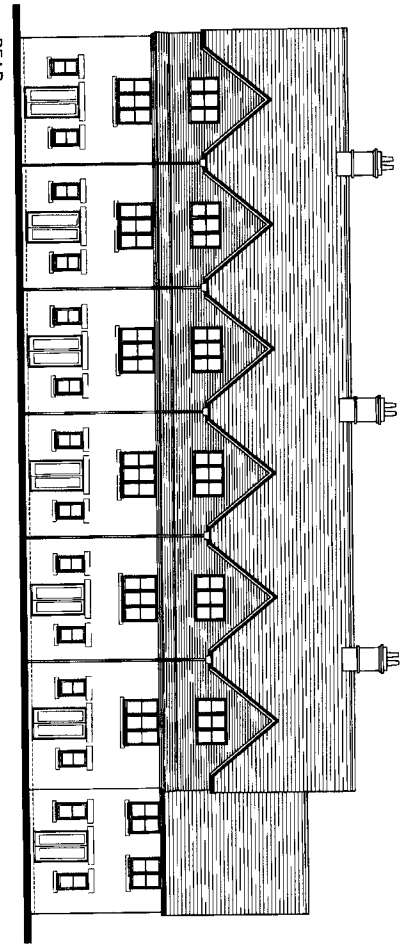
Revised: C

The Architect: Alan S. Gifford, Planning Consultant, 110/112A St. Mary's Church, Wantage, Oxon. OX12 9JN. Tel: 01235 362227 Fax: 01235 362273 Email: alan.gifford@planningconsultants.co.uk

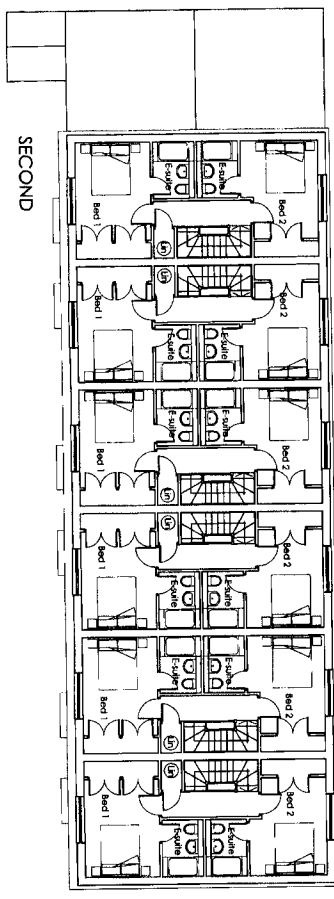
APPENDIX 1



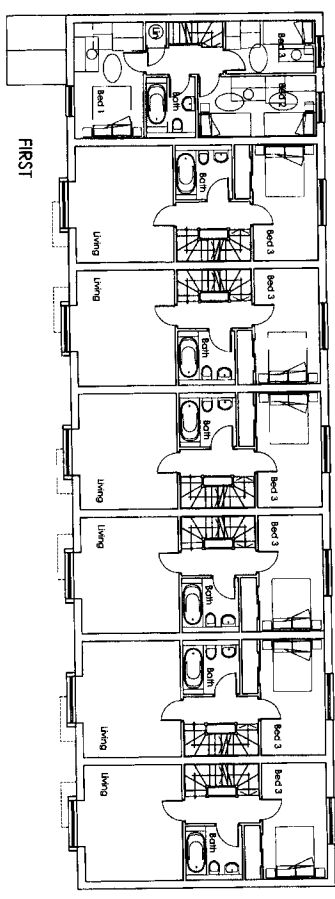
FRONT



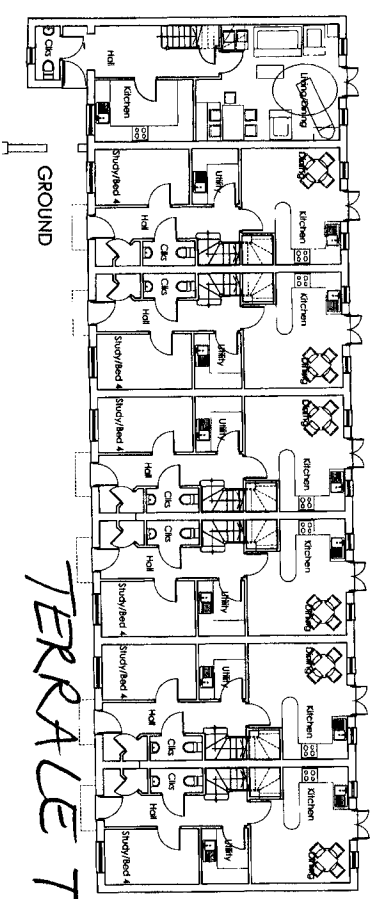
REAR



SECOND

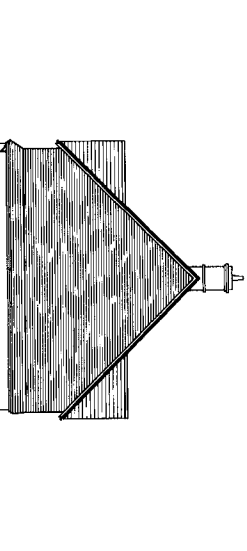
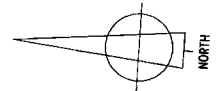


FIRST

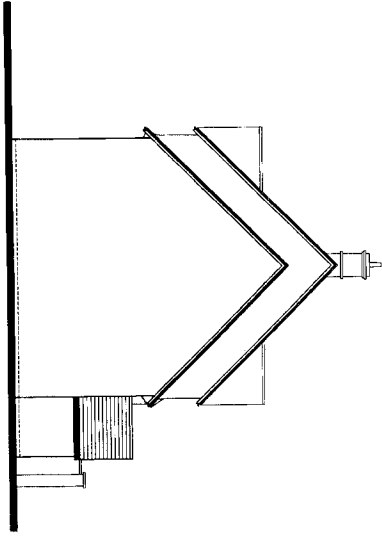


GROUND

TERRACE T13 - PERMITTED



SIDE



SIDE



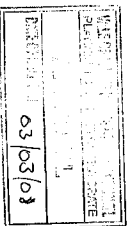
KEY PLAN

NOTES:
 1. Dimensions are to the face of brickwork unless otherwise stated.
 2. All work to be carried out in accordance with the Building Regulations 2000.
 3. The drawings are for information only and do not constitute a contract.
 4. The drawings are the property of the architect and shall remain his property.
 5. The drawings are not to be used for any other purpose without the written consent of the architect.

REVISIONS

| Rev No | Date | Revised: |
|--------|------|----------|
| A | | |
| B | | |
| C | | |
| D | | |
| E | | |

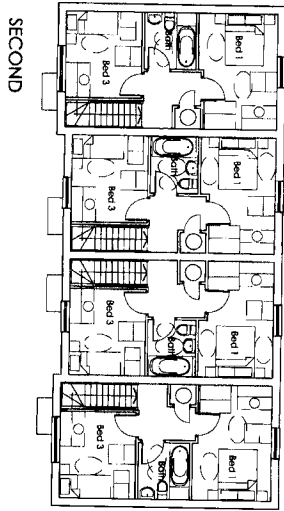
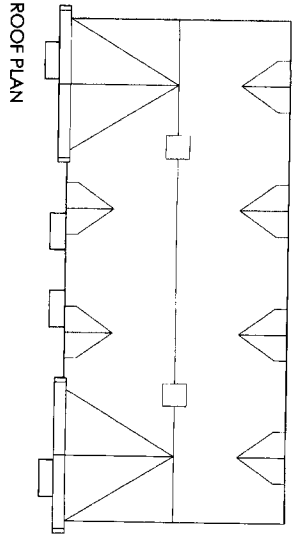
Client: Berkeley Homes Oxford and Chilham Ltd
 Job: St Mary's School Wantage
 Drawing Title: Terrace T13 Plans and Elevations
 Scale: 1:100 @ A1
 Date: August 2007
 Drawn By: BK/SC
 Drawing No: 2006.136
 Revision: A



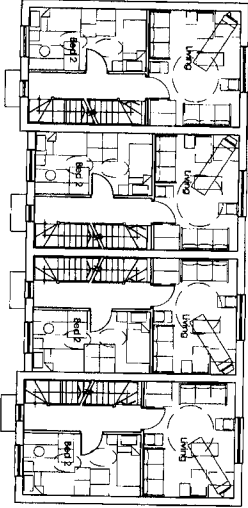
07/05/04 / CVL



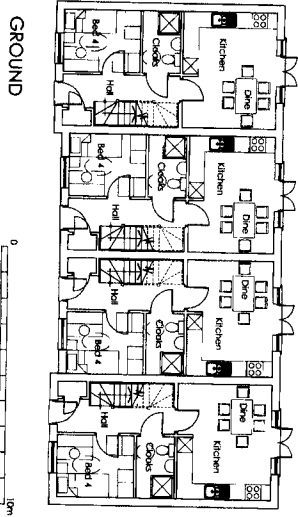
APPENDIX 1



SECOND

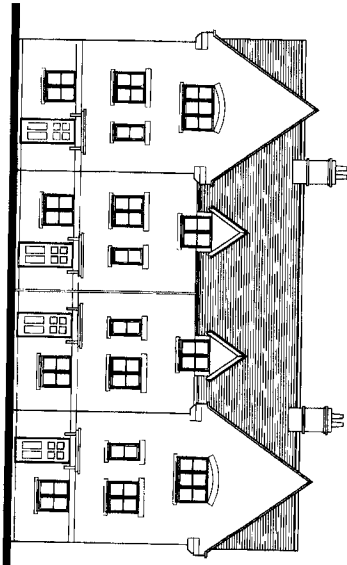


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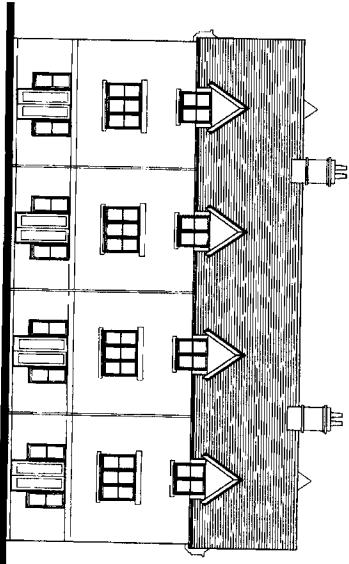


GROUND

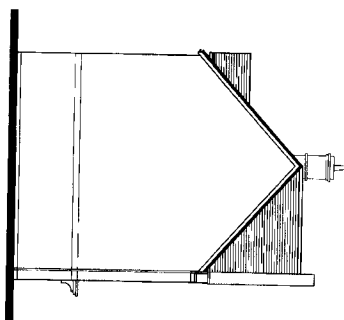
TERRACE T15 - PROPOSED



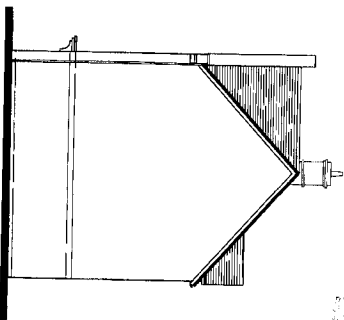
FRONT ELEVATION



REAR ELEVATION

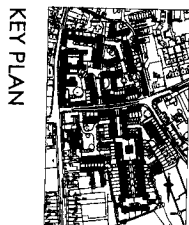


SIDE

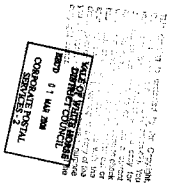


SIDE

1:500 = 1:200
1:1000 = 1:200
1:1500 = 1:200
1:2000 = 1:200
1:2500 = 1:200



KEY PLAN



Client:
Berkeley Homes
Oxford and Chiltern
Ltd
Job:
St Mary's School
Wantage

Drawing Title:
Terrace T15 (B16)
Plans and Elevations

Scale:
1:100 @ A1
Date:
August 2007
Drawing No.:
2060.137
Revised:
C

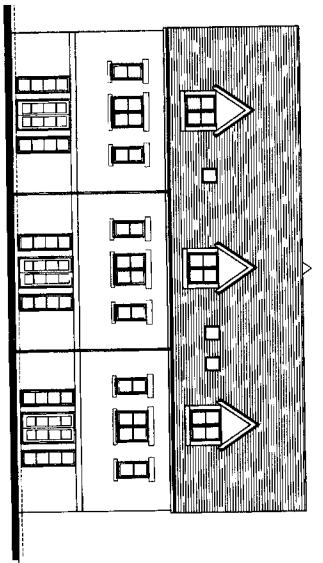
The Proprietor: St. Mary's School, Wantage
1, 01235, Oxmore Cottages, Wantage
The Architect: WARD & PARTNERS
1, 01235, Oxmore Cottages, Wantage
1, 01235, Oxmore Cottages, Wantage

WAN/2196/17
08100694/FUL

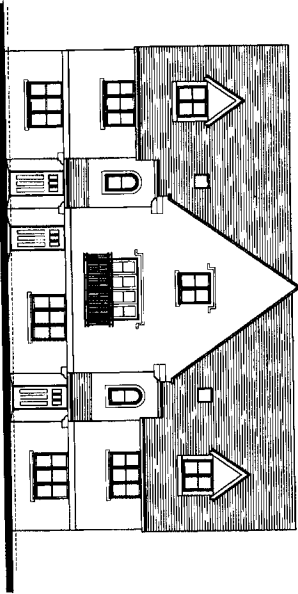
REVISIONS

| Rev. No | Date | Revision |
|---------|----------|--------------------|
| A | 07/08/07 | Issue for planning |
| B | 07/08/07 | Issue for planning |
| C | 07/08/07 | Issue for planning |

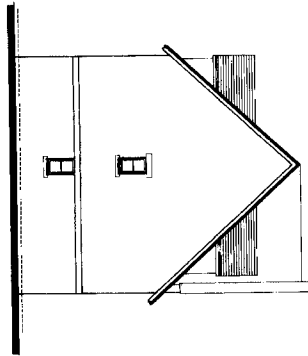
APPENDIX 1



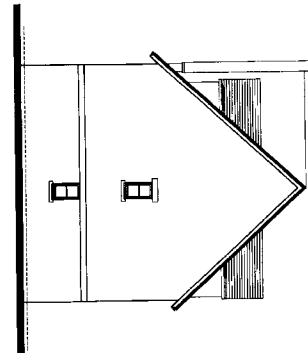
REAR



FRONT



SIDE



SIDE

TERRACE T15 - PERMITTED

NOTES
 1. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
 2. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO ANY OTHER MATTER.
 3. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO ANY OTHER MATTER.
REVISIONS
 REV. NO. DATE: Revision:
 A 03/03/08



KEY PLAN

Client:
 Berkeley Homes
 Oxford and Chiltern
 Ltd

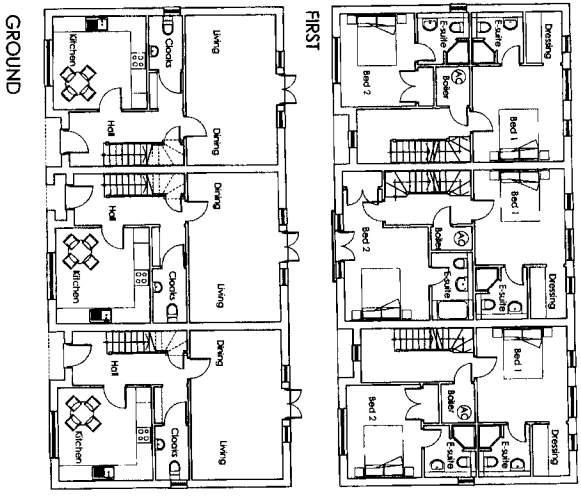
Job:
 St Mary's School
 Wantage
 Terrace T15
 Plans and Elevations

Scale: 1:100 @ A1
Date: August 2007
Drawn By: SJC
Drawing No.: 2060.137
Revision: A

This drawing is prepared by the Architect in accordance with the Building Regulations 2000 and the Building Regulations 2003. It is not to be used for any other purpose without the written permission of the Architect.
 07/01/04/04

DATE OF ISSUE: 03/03/08

APPROVED PLAN



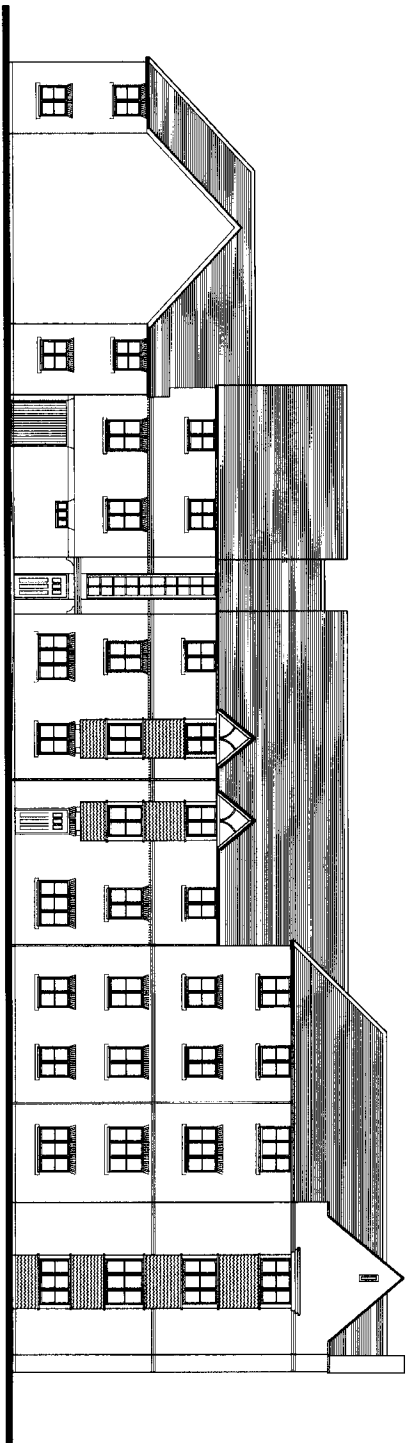
FIRST

SECOND



APPENDIX 1

WEST ELEVATION



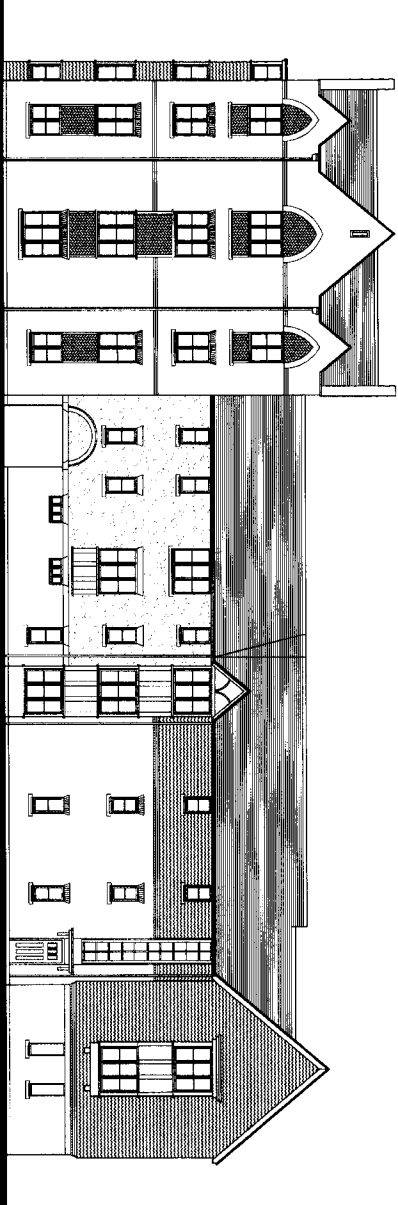
KEY PLAN

ALL INFORMATION AND ANY OTHER INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE.

REVISIONS

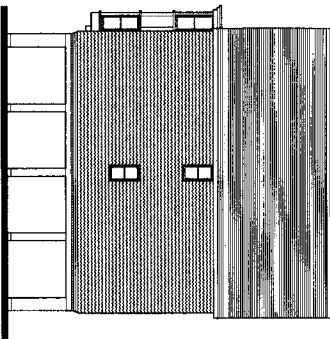
| Rev. No. | Date | Revision |
|----------|----------|---|
| A | 11/07/07 | Initial Design |
| B | 11/07/07 | Minor amendments to structural drawings |

SOUTH ELEVATION (shown developed)



Block B2 - PROPOSED

EAST ELEVATION



This drawing is prepared by the Architect. It is not to be used for any other purpose without the written consent of the Architect.

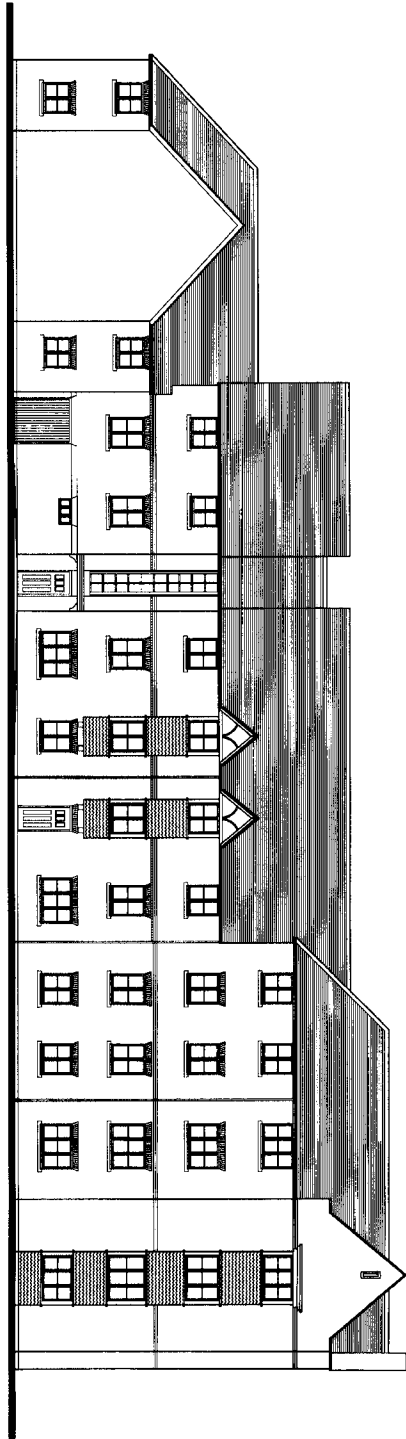
Scale: 1:100 @ A1
 Date: August 2007
 Drawn By: JL
 Checked By: JL
 Drawing No: 2060.107
 Revision: B

Drawing Title:
 Block B2
 Elevations
 Sheet 1 of 2

Client:
 Berkeley Homes
 Oxford and Chiltern
 Ltd
 Job:
 St Mary's School
 Wantage

WANZ188/17
 08/00894/FULL

WEST ELEVATION



KEY PLAN

NOTES:

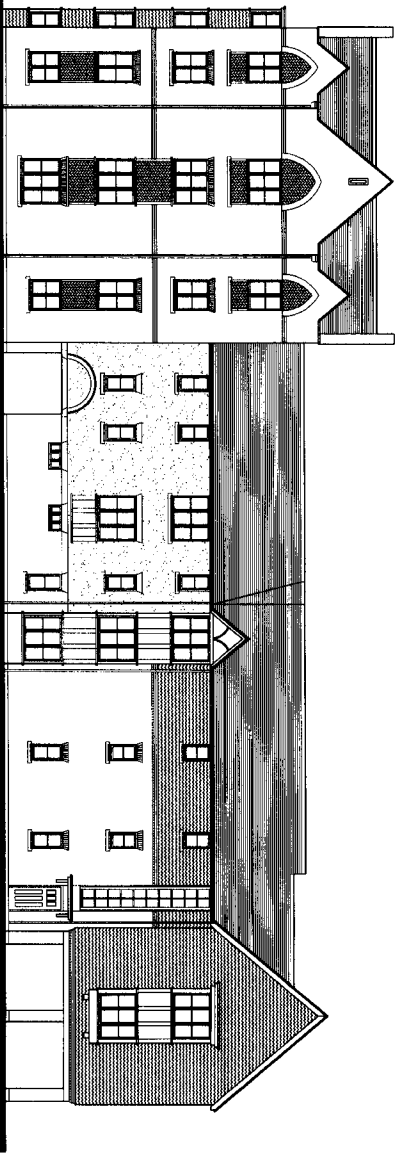
- 1. All dimensions are in millimeters unless otherwise stated.
- 2. All dimensions are to the face of the work unless otherwise stated.
- 3. All dimensions are to the center of the work unless otherwise stated.

CONTRACT AGREEMENT:

THIS AGREEMENT IS MADE BETWEEN THE ARCHITECT AND THE CLIENT. THE CLIENT AGREES TO PAY THE ARCHITECT'S FEES AS SET OUT IN THIS AGREEMENT. THE ARCHITECT AGREES TO DESIGN AND CONSTRUCT THE WORK IN ACCORDANCE WITH THE AGREEMENT AND TO COMPLY WITH ALL RELEVANT REGULATIONS AND LAWS.

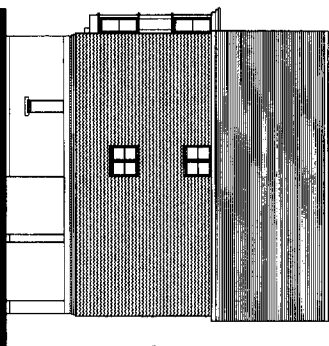
| REV. NO. | DATE | REVISION |
|----------|----------|----------------|
| A | 05/03/08 | Final Approval |

SOUTH ELEVATION (shown developed)



BLOCK 82 - PERMITTED

EAST ELEVATION



1:200 = 1.2m
1:500 = 1.5m
1:1000 = 10m
1:2000 = 20m
1:5000 = 50m

05/03/08

Drawing Title:
Block 82
Elevations
Sheet 1 of 2

WILL OF WHITE HORN
DISTRICT COUNCIL
117 BEECH WAY
CONKRAVE NORTH
SURREY GU24 0JY

Scale: 1:100 @ A1

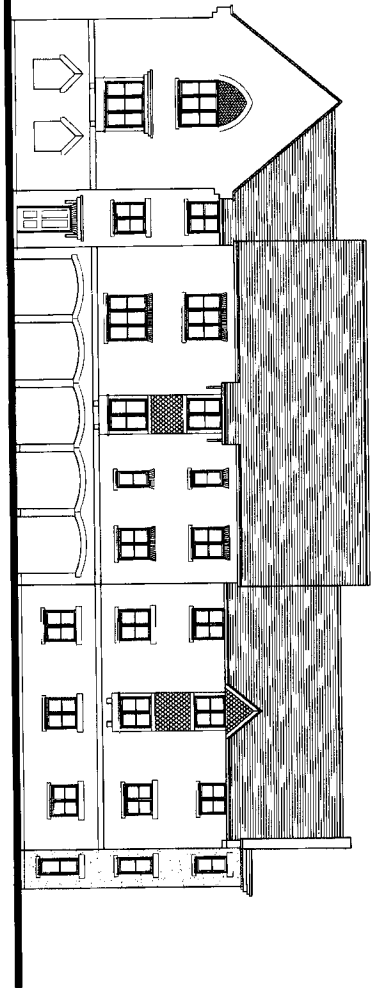
Date: August 2007
Drawn By: JL

Drawing No: 2060.107
Revision: A

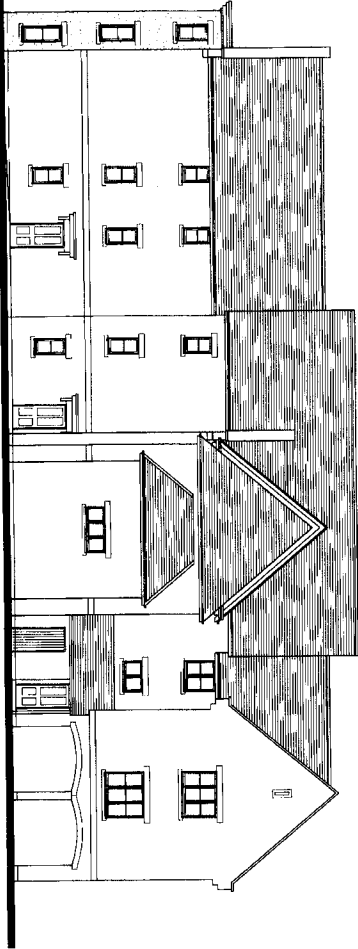
The Architect: J. J. J. Architects
1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

WILL OF WHITE HORN DISTRICT COUNCIL
PLANNING SERVICES DIRECTORATE
APPROVAL
DATE OF DECISION 05/03/08

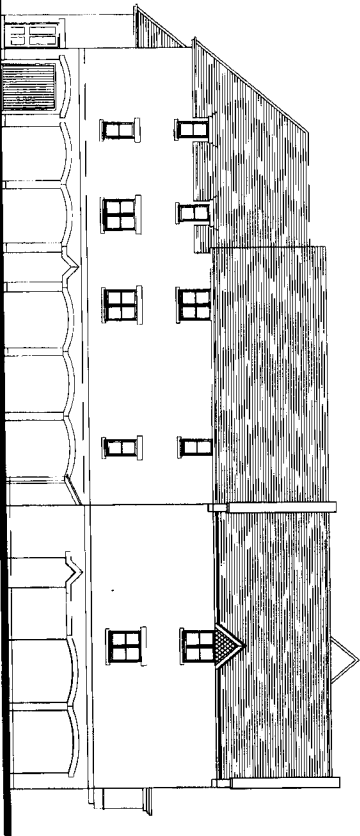
AMENDED PLAN



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION

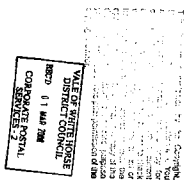
Block B3 - PROPOSED



KEY PLAN

NOTE:
 CONSULT THE LOCAL AUTHORITY FOR THE LATEST VERSION OF THE LOCAL AUTHORITY'S PLANNING POLICY STATEMENT AND THE LOCAL AUTHORITY'S DESIGN GUIDANCE DOCUMENTS.
 CONSULT THE LOCAL AUTHORITY FOR THE LATEST VERSION OF THE LOCAL AUTHORITY'S PLANNING POLICY STATEMENT AND THE LOCAL AUTHORITY'S DESIGN GUIDANCE DOCUMENTS.
 CONSULT THE LOCAL AUTHORITY FOR THE LATEST VERSION OF THE LOCAL AUTHORITY'S PLANNING POLICY STATEMENT AND THE LOCAL AUTHORITY'S DESIGN GUIDANCE DOCUMENTS.

| REV. NO. | DATE | REVISION |
|----------|----------|------------------------|
| A | 11/08/07 | Issue for consultation |
| B | 11/08/07 | Issue for consultation |
| 5 | 11/08/07 | Issue for consultation |



WANT186117
 081006941FUL

1:250 = 1:250
 1:1250 = 1:1250
 1:5000 = 1:5000
 1:10000 = 1:10000

Client:
 Berkeley Homes
 Oxford and Chiltern
 Ltd

Job:
 St Mary's School
 Warrage

Drawing Title:
 Block B3
 Elevations

Scale:
 1:100 @ A1

Date:
 August 2007

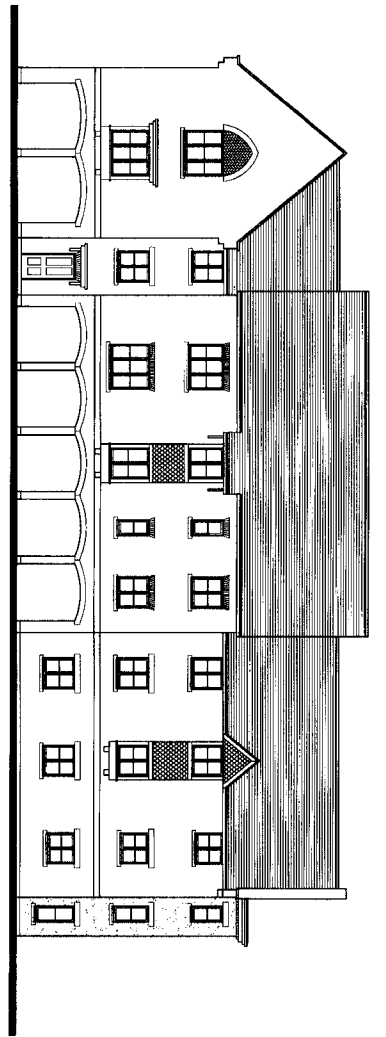
Drawn By:
 BK/SJC

Drawing No:
 2060.111

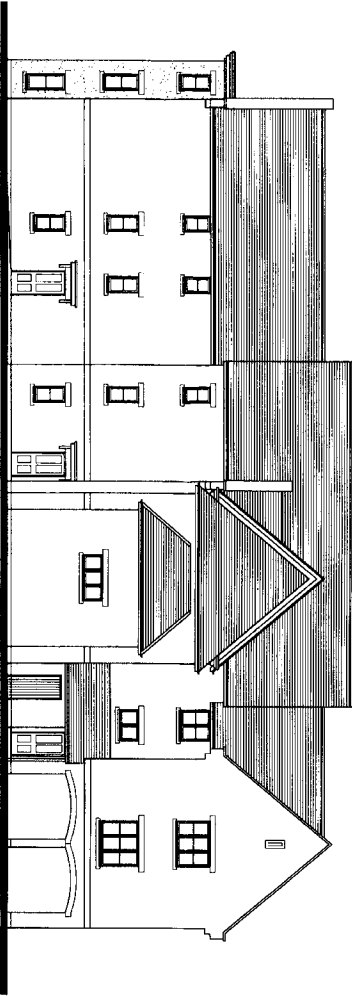
Revision:
 B

The Woodcock, 14, Church Street, Warminster,
 T. 01262 165572 F. 01262 743573
 The Academy House, Marlborough Park, Cornwall,
 T. 01799 734207 F. 01799 418207
 www.dorsetarchitects.co.uk

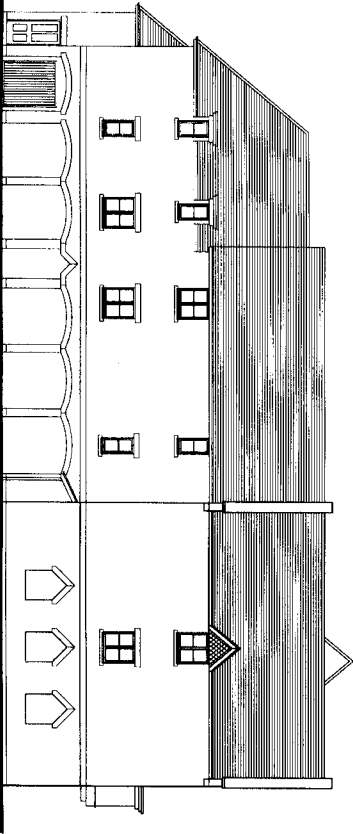
APPENDIX 1



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION

Block B3 - PERMITTED



KEY PLAN

REVISIONS

| Rev. No. | Date | Revised: |
|----------|------|----------|
| A | | |

1:500 = 1:500
1:1000 = 1:1000
1:2000 = 1:2000
1:5000 = 1:5000

Client:
Berkeley Homes
Oxford and Chiltern
Ltd

Job:
St Mary's School
Montage

Drawing Title:
BLOCK 83
Elevations

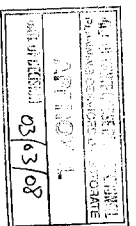
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Date:
August 2007

Drawn By:
BK/SJC

Drawing No.:
2060.111

Revision:
A



07/0/5394/804



McCoy Associates Chartered Town Planners

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5 June 2008

Your Ref WAN/2186/17

F A O Alison Blyth

Vale of White Horse District Council,
Abbey House
Abingdon
Oxon
OX14 3JE

by e-mail and post

Appendix 2

Dear Sirs,

**Amendment to approved application WAN/2186/14 to substitute 30 new dwellings with associated parking, landscaping and highway access for 4 No terraces comprising 23 units. Minor amendments to parts of blocks of approval WAN/2186/14 to substitute amended drawings as per this application
St Mary's School, Newbury, Wantage, Oxon**

Thank you for your letter of the 28th of May together with relevant papers relating to this scheme, which was discussed at the Architects Panel on Wednesday.

The answer to question 5 on the application form suggests that there has been pre-application Officer support for this proposal. I find that unsurprising, so far as design considerations are concerned, since the character of what is now proposed is entirely sympathetic to that of the approved scheme.

Thus I commend the design of the buildings to you, albeit with some concern about the consequent increase in open parking. This will make the townscape less attractive.

The drawings and various papers sent to us will be returned to you by post with the hardcopy of this letter.

Your faithfully

McCOY ASSOCIATES

Encs

**Drawing Nos 2060.100revB,-104B, -105revB-106revB – 107revB,-109revA,- 111revB,-
126revB, -129revC, -130revD, -127revC,- 161revC, -162; application, architects letter, Design
& Access Statement; Tree report**

Denis F McCoy DiplArch(Oxford) FRTPI FRIAI

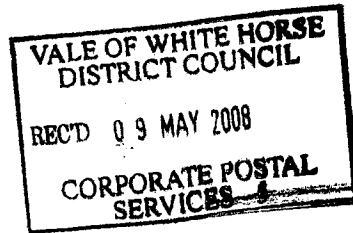
Christopher R Baker Company Secretary

Elizabeth Chan-A-Sue BSc(Hons) DipTP MSc MRTPI MIQ

McCoy Associates Limited incorporating Simon Eve Associates
company registered in England no 4457420
VAT No. 363 3525 59



APPENDIX 3



To Mrs G LeCointe
Vale of White Horse District Council
Planning and Community Strategy
Abbey House
Abingdon
Oxfordshire
OX14 3JE

Your ref: WAN/2186/14
My ref: VALE/21/87-7.5.8

Dear Geraldine LeCointe

Re: St Mary's School, Wantage

Thank you for your letter informing me of this amended planning application, my comments are as follows: -

Observations and Recommendations

On block 2 the area that does concern me is the enclosed walkway, I accept it is straight and not too long, but to discourage persons from congregating in there could I ask for a landlord supply of lighting in it. This lighting should be quite high light lux levels to deter persons from loitering in there.

Block T15, there should be windows in the side elevation of plot 109; otherwise the whole parking area does not have any natural surveillance on it. The windows should be active windows such as lounge/dining room and bedrooms. I would not like to see just a landing window.

Justifications

Local Plan

Aim 2 of Local Plan states: - 2:15 'Well designed and laid out new buildings can help to reinforce local distinctiveness and sense of place, and reduce energy consumption and crime.

Section 2.17 states: - 'promoting design which helps to reduce crime and encourage community identity and pride'.

Section 4.12 states: - 'Local Planning authorities have a duty under section the Crime and Disorder Act 1998 to promote community safety. In designing new development,

STA

9.5.08

RD Hampshire
Crime Prevention Design Advisor for
Oxfordshire

Witney Police Station
Welch Way
Witney
Oxfordshire
OX28 6JN

Tel. 01993 893875
Fax. 01993 893894
E mail

roger.hampshire@thamesvalley.pnn.police.uk

Date 7 May, 2008

For 'Secured by Design' standards and
application forms, visit
www.securedbydesign.com

architects and developers should take the opportunity to introduce environmentally sensitive measures that will assist in reducing the likelihood of crime. The principles of natural surveillance and territoriality are considered fundamental in designing against crime....

Policy DC3 The design and layout of new buildings and the spaces around and between them should be arranged to increase security and deter crime.

National Guidelines

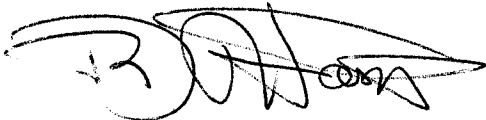
Section 37 of Planning Policy Statement 1, states: - **In planning for the achievement of high quality and inclusive design, planning authorities should have regard to good practice set out in: - Safer Places - the Planning System and Crime Prevention;**

Vehicle – Crime Opportunity - ‘Safer Places’

Parked cars can be particularly vulnerable to crime and, unless they are in a private garage must be overlooked.....

Courtyard parking that is not adequately overlooked by capable guardians should be avoided.

Yours sincerely



RD Hampshire

Crime Prevention Design Advisor for Oxfordshire

APPENDIX 3

“Crime prevention advice is given free without the intention of creating a contract. Neither do the Home Office nor the Police Service take any legal responsibility for the advice given.”

This survey/advice is based on information supplied by yourself and current crime trends in the area concerned. I can only give a view on what measures might reduce the risk of crime and there can be no guarantee that the measures will prevent crime.



Secured by Design

placing design between
crime & the community

APPENDIX 4

| Terrace | Permitted | Proposed |
|---------|--|--|
| T1 | Length 32.2 m Width 9.7 m Height 11.2 m | Length 29.9 m Width 9.6 m Height 10.0 m |
| T3 | Length 51.3 m Width 9.7 m Height 11.2 m | Length 51.0 m Width 9.6 m Height 10.5 - 11.5 m |
| T13 | Length 33.8 m Width 10.0 m Height 12.5 m | Length 33.8 m Width 8.5 m Height 11.7 m |
| T15 | Length 18.5 m Width 9.2 m Height 11.0 m | Length 19.5 m Width 8.8 m Height 11.2 |

St Mary's School, Wantage
Justification of Parking Provision for Three Bedroom 'Shared Ownership' Units

This statement has been prepared in response to Vale of White Horse District Council's request for parking provision at three bedroom 'shared ownership' units on the St Mary's School site to be made at a ratio of 2 spaces per unit.

Following consultation undertaken with Oxfordshire County Council and Vale of White Horse District Council while preparing the Transport Assessment which accompanied the planning application, it was agreed that the parking allocation across the site could be based on the maximum parking standards for a town centre development (Type 1) as defined at Paragraph 7.4 of the Oxfordshire County Council Residential Road Design Guide and within the adopted Vale of White Horse District Local Plan at Policy DC5 and associated SPG. For reference, Paragraph 2.9 of the Transport Assessment addresses in detail parking provision for the consented scheme.

These maximum standards stipulate that 1 space must be provided per dwelling up to 2 bedrooms and dwellings of more than two bedrooms can be dealt with 'on merit', regardless of tenure.

A suitable method of assessing the relative 'on-merit' provision of parking is to consider provision against appropriate CENSUS data. An extract of data provided by the Office of National Statistics for the Charlton Ward in Wantage is presented in Table 2 below and reveals that the average number of cars per three bedroom 'social rented' unit is 1.18. Therefore provision at the now proposed ratio of 1.5 spaces per unit would result in an over provision and is therefore considered entirely appropriate for the nature and location of the development.

Table 1 CENSUS Data Extract (Rented Social or Private)¹

| TENURE: Rented (social or private) | Number of cars or vans in household | | | | | | Ave No. Cars per Household | % of Households without car |
|---------------------------------------|-------------------------------------|-----------|-----------|-----------|-----------|----------|----------------------------------|-----------------------------------|
| | Total | None | One | Two | Three | Four + | | |
| 1 Bed (1, 2 Rooms) | 59 | 28 | 27 | 4 | 0 | 0 | 0.59 | 47.5% |
| 2 Bed (3, 4 Rooms) | 286 | 144 | 98 | 41 | 3 | 0 | 0.66 | 50.3% |
| 3 Bed (5 Rooms) | 165 | 40 | 73 | 38 | 11 | 3 | 1.18 | 24.2% |
| 4 Bed (6 & 7 Rooms) | 117 | 26 | 61 | 24 | 3 | 3 | 1.11 | 22.2% |
| 5 Bed (8 or more Rooms) | 36 | 11 | 9 | 10 | 3 | 3 | 1.39 | 30.6% |
| Total | 663 | 249 | 268 | 117 | 20 | 9 | | |

Indeed, it should be noted that data for 'privately owned' 3 bedroom dwellings in the same ward reveals that the average number of cars per unit is 1.25 and therefore is again below the ratio of 1.5 spaces per unit currently proposed and is above ownership ratios at 'social rented' units. The relevant extracts for the 'Privately Owned' tenure is provided in Table 2 over page.

¹ Data taken from CENSUS data tables C0817 and C0239.

Table 2 CENSUS Data Extract (Owned)

| TENURE: Owned | Number of cars or vans in household | | | | | | Ave No. Cars per Household | % of Households without car |
|----------------------------|-------------------------------------|-----------|------------|-----------|-----------|----------|----------------------------|-----------------------------|
| | Total | None | One | Two | Three | Four + | | |
| 1 Bed (1, 2 Rooms) | 16 | 3 | 13 | 0 | 0 | 0 | 0.81 | 18.8% |
| 2 Bed (3, 4 Rooms) | 232 | 51 | 133 | 38 | 7 | 3 | 1.04 | 22.0% |
| 3 Bed (5 Rooms) | 349 | 61 | 169 | 97 | 14 | 8 | 1.25 | 17.5% |
| 4 Bed (6 & 7 Rooms) | 780 | 73 | 360 | 292 | 40 | 15 | 1.44 | 9.4% |
| 5 Bed (8 or more Rooms) | 444 | 9 | 128 | 227 | 50 | 30 | 1.92 | 2.0% |
| Total | 1821 | 197 | 803 | 654 | 111 | 56 | | |

Given the above, it is considered that parking provision at 1.5 spaces per unit will provide both sufficient operational space as well as additional spaces to satisfy the County Council in terms of any requirement for the provision of visitor parking and therefore will not have any detrimental impact in terms of parking capacity either on or off site.

Further, it is considered that this level of provision is entirely reflective of the site's sustainable location, being within PPG13's recommended maximum walking and cycling distances to the facilities and amenities of the town and therefore provides satisfactory justification for 1.5 spaces per 3 bedroom unit being granted 'on merit'.